

8908/2022

8915/2022



पश्चिमबंगाल पश्चिम बंगाल WEST BENGAL

A.R.A  
IV

AG 782114

Verified that the Document is admitted to Registration. The Registered Sheet and the Endorsement sheet attached to this document are the part of this Document.

Additional Registrar  
of Assurances-IV, Kolkata

30 MAY 2022

Additional Registrar of  
Assurances-IV, Kolkata

**DEVELOPMENT POWER OF ATTORNEY**

**KNOWN ALL MEN BY THESE PRESENTS THAT** we,

1) **SMT. JHARNA HALDAR**, PAN- AYLPH4521J, Aadhaar No.- 7045 6603 2958, wife of Late Prasad Haldar, daughter of Late Bipin Behari Haldar, by faith - Hindu, by occupation - Housewife, residing at Purba Hotar, P.O.- Hotar, P.S.- Magrahat, District - South 24 Parganas, Pin.- 743610, 2) **SMT. RIMA PAILAN**, PAN- BWUPP2498G, Aadhaar No.- 9005 0101 4222, wife of Sri Shanti Pailan, daughter of Late Nalini Chandra Halder, by faith - Hindu, by occupation - Housewife, by Nationality - Indian, residing at Sitala Park, P.O. & P.S.- Banskroni, Kolkata - 700070, District - South 24 Parganas, 3) **SRI RABINDRA HALDER**, PAN- BIAPH8508K, Aadhaar No.- 9420 8617 3638, son of Late Nalini Chandra Halder, by faith - Hindu, by occupation - Business, by Nationality - Indian, residing at 17, Chittaranjan Park, P.O.- Jadavpur University, P.S.- Jadavpur, Kolkata - 700032, District

Shine Enterprise  
Shankar Das  
Proprietor

26 MAY 2022

19102  
 NO. \_\_\_\_\_ DATE \_\_\_\_\_ RS. 1000  
 NAME \_\_\_\_\_ Challenge (182M)  
 ADDRESS \_\_\_\_\_  
 AIRPORT JUDGES COURT  
 A. N. SAMAPATI  
 SIGNATURE \_\_\_\_\_



*mm*

ADDITIONAL DIRECTOR  
 OF REGISTRAR GENERAL  
 BANGALORE

- South 24 Parganas,, 4) SRI BISWAJIT HALDAR, PAN- BHWPH9277A, Aadhaar No.- 8890 8107 6193, 5) SRI SURAJIT HALDAR, PAN- BHWPH9278R, Aadhaar No.- 9994 0543 4428, both by faith - Hindu, by occupation -Business, by Nationality - Indian, both sons of late Dulal Haldar, both are residing at Mirpur, P.O.- Daulatpur, P.S.- Baruipur, Pin.- 743610, District - South 24 Parganas, 6) SMT. SWAPNA DAS, PAN- FGQPD6807R, Aadhaar No.- 9812 7325 1393, wife of Sri Manik Das, daughter of Late Dulal Haldar, by faith - Hindu, by occupation - Housewife, by Nationality - Indian, residing at 13, Kali Bari Lane, P.O.- Jadavpur University, P.S.- Jadavpur, Kolkata - 700032, District - South 24 Parganas, 7) SMT. MAYA SARKAR, PAN- NUMPS7381K, Aadhaar No.- 8595 8910 9450, wife of Tarak Sarkar, daughter of Late Nalini Chandra Halder, by faith - Hindu, by occupation - Housewife, by Nationality - Indian, residing at 17, Chittaranjan Park, P.O.- Jadavpur University, P.S.- Jadavpur, Kolkata - 700032, District - South 24 Parganas, 8) SRI ASHOK HALDER, PAN- AOHPH0906B, Aadhaar No.- 5852 9495 8086, 9) SRI RAMESH CHANDRA HALDER, PAN- AJBPH7030B, Aadhaar No.- 6571 7123 6881, both sons of Late Nalini Chandra Halder, both by faith - Hindu, by occupation - Business, by Nationality - Indian, both are residing at 17, Chittaranjan Park, P.O.- Jadavpur University, P.S.- Jadavpur, Kolkata - 700032, District - South 24 Parganas, 10) SMT. PURNIMA DAS, PAN- ESBPD0975C, Aadhaar No.- 5199 3484 1309, wife of Sri Babu Das, daughter of Late Nalini Chandra Halder, by faith - Hindu, by occupation - Housewife, by Nationality - Indian, residing at 17, Chittaranjan Park, P.O.- Jadavpur University, P.S.- Jadavpur, Kolkata - 700032, District - South 24 Parganas, in the State of West Bengal, **SEND GREETINGS.**

**WHEREAS**, We are the joint owners in respect of **ALL THAT** piece and parcel of Bastu land measuring about 14 decimals equivalent to 08 (eight) Cottahs, 08 (eight) Chittaks be the same or a little more or less, together with 100 square feet brick built tile shed structure standing thereon lying and situated at Mouza - Rajapur, Touzi No.- 109 J.L. No.-23,



under C.S. Khatian No.- 339, C.S. Dag No.- 262, corresponding to R.S. Dag No. 303, within the limits of Kolkata Municipal Corporation Ward No. 102, Assessee No. 311020700754, being K.M.C. Premises No. 75, Chittaranjan Colony - "A", P.S.- Jadavpur, District - South 24 Parganas, Kolkata - 700032 together with the all right of easement through the common passage leading to the main road of the land, more fully described in the Schedule hereunder written.

**AND WHEREAS** in order to develop the aforesaid property the owners herein have entered into an agreement for development dated 30.05.22 with the Developers namely "**SHINE ENTERPRISE**", a Proprietorship Firm, represented by its sole Proprietor **SRI SHANKAR DAS**, PAN- AHZPD1306N, Aadhaar No. 2314 2204 2226, son of late Nemai Chandra Das, by faith Hindu by Occupation Business, by Nationality Indian, residing at 17/4, Lokenath Bose Garden Lane, P.O.- Gobinda Khatick Road, P.S.- Topsia, Kolkata - 700046, District - South 24 Parganas, and the said Development Agreement was duly registered at the office of the A.R.A. IV, Kolkata. and recorded in Book No. 1, Being No. 8898 for the year 2022 on such terms and conditions interalia that the developer will construct the multistoried building at the schedule property at his own cost and expenses and to sell the developer's allocation for the consideration which the developer will decided.

**NOW KNOW BY THESE PRESENTS** that we the above named Principals do hereby nominate, constitute and appoint "**SHINE ENTERPRISE**", a Proprietorship Firm, represented by its sole Proprietor **SRI SHANKAR DAS**, PAN- AHZPD1306N, Aadhaar No. 2314 2204 2226, son of late Nemai Chandra Das, by faith Hindu by Occupation Business, by Nationality Indian, residing at 17/4, Lokenath Bose Garden Lane, P.O.- Gobinda Khatick Road, P.S.- Topsia, Kolkata - 700046, District - South 24 Parganas, as our true and lawful Constituted Attorneys for us in our names and on our behalf to do or cause to be done all acts, deeds,

Shine Enterprise  
Shankar Das  
Proprietor

matters and things whatsoever in all matters concerning development our said property, inter alia, as set forth herein below :-

- 1) To look after, manage, supervise and do all and every matters and things necessary or in any manner connected with or having reference to the said property belonging to us in our names and on our behalf.
- 2) To represent us and to appear on our behalf in all Original, Appellate, Civil and Criminal Court/s, Revenue Office/s, in the Collectorate's Offices, Revisional Settlement Offices, Settlement Offices, The Kolkata Municipal Corporation, Police Stations, and Tribunals and other Offices within Union of India and to do on our behalf all necessary works which requires to be done by us in respect of the said property or any part thereof.
- 3) To sign and verify all Plaints or Written Statements, Written Objections and to sign and affirm Petition or Petitions, Memorandum of Appeals Petitions and Applications of all kinds and to file them in any Court/Courts or Office/Offices and to swear Affidavit/ Declaration etc. and to compromise, dispose off, withdraw of suits, matters, cases or proceedings, if necessary, in respect of our said property.
- 4) To accept service of all notices, summons and papers and documents, Orders or Writs, if any, from Settlement Offices, Revenue Offices, Kolkata Municipal Corporation and all other Offices and Courts within Union of India for the mutation and getting the sanction plan and to institute and to defend all cases and to prefer Appeals upto the Highest Tribunals and Courts and to do all such acts, deeds and things relating to the management,

Shine Enterprise  
*Shankar Das*  
Proprietor

protection and preservation of the aforesaid property and our interest therein.

- 5) To apply for and obtain from the CESC Ltd, Concerned Municipality, Telephones and other appropriate authority or authorities the connection of electricity, water supply, sewerage, drainage, telephone and other connection or utility at the said property, either temporary or permanent and / or to make alteration therein and to close down and / or disconnect the same and for that to sign, execute and submit all papers, applications, documents and plan and to do all other acts, deeds and things as may be found deem, fit and proper by the said Attorney.
- 6) To sign in the multistoried building plan or plans, revised plan if necessary on our behalf and to submit the same before the Kolkata Municipal Corporation and also to sign in The Kolkata Municipal Corporation declarations, The Kolkata Municipal Corporation affidavit, The Kolkata Municipal Corporation gift if necessary by attending before the Registration Offices.
- 7) To construct multistoried building upon the said land as per sanction building plan by appointing labour, masons, machine and also to appoint contractor or contractors for completion of newly multi flat building upon the said land and obtained Completion Certificate if necessary from the competent Authority.
- 8) To negotiate and to enter into any agreement for sale, sale deed, deed of conveyance in favour of any intending purchaser or purchasers in respect of developer's allocation as per the Registered Development Agreement.

- 9) To take booking amount, earnest money, full and final consideration amount towards sale of the developer's allocation as per the Registered Development Agreement. from the intending purchaser or purchasers and use the said amount as it think fit and proper.
- 10) The developer is entitled to sell, transfer and convey the developer's allocation against consideration and to represent us before the Registration Offices and to sign in agreement for sale, deed of conveyance, deed of sale by attending before the Registration Offices and put necessary sign in the documents on our behalf in respect of developer's allocations as per the agreement.
- 11) To submit and show all the documents before any Financial Institution on our behalf for disposal of flat and other spaces in respect of developer's allocation as per the development agreement.
- 12) To file or cause to be filed any suit, application, complain case Civil & Criminal Cases on our behalf to protect our interest in respect of the said landed property or of the said building to be constructed on the said land and sign plaint, verification and Affidavit on our behalf.
- 13) That the said Attorney are entitled to mutate our property in our names in the records of the B.L. & L.R.O, Kolkata Municipal Corporation and they are also entitled to amalgamate our property into one plot of landed property by registering the Deed of Exchange and also other necessary documents which are required .



for Amalgamation of our property and for preparing building sanctioned plan and obtained the same.

**AND GENERALLY** to do execute and perform any other act or acts, deed or deeds, matter or things whatsoever which in the opinion of our said Attorney ought to be done execute and performed in relation to the said property standing in our names or our concern, engagements or affairs ancillary and incidental thereto as fully and effectually as we could do the same if we personally present.

**AND** We do hereby agree and undertake to ratify and confirm all and whatsoever our said Attorney under the power in that behalf hereinbefore contained, shall lawfully and bonafide do, execute or perform in exercise of the power, authorities and liberties hereby conferred upon under and by virtue of this Power of Attorney.

**THE SCHEDULE ABOVE REFERRED TO**

**ALL THAT** piece and parcel of Bastu land measuring about 14 decimals equivalent to 08 (eight) Cottahs, 08 (eight) Chittaks be the same or a little more or less, together with 100 square feet brick built tile shed structure standing thereon lying and situated at Mouza - Rajapur, Touzi No.- 109 J.L. No.-23, under C.S. Khatian No.- 339, C.S. Dag No.- 262, corresponding to R.S. Dag No. 303, within the limits of Kolkata Municipal Corporation Ward No. 102, Assessee No. 311020700754, being K.M.C. Premises No. 75, Chittaranjan Colony - "A", P.S.- Jadavpur, District - South 24 Parganas, Kolkata - 700032 together with the all right of easement through the common passage leading to the main road of the land, which is butted and bounded as follows :

<b>ON THE NORTH</b>	:	18 Chittaranjan Colony.
<b>ON THE SOUTH</b>	:	15A Chittaranjan Colony.
<b>ON THE EAST</b>	:	Tank of Late Ajit Mondal.
<b>ON THE WEST</b>	:	16 feet K.M.,C Road.



IN WITNESSETH WHEREOF the parties herein put their respective sign and seal on this 30<sup>th</sup> day of MAY 2022 (Two thousand twenty two).

SIGNED, SEALED & DELIVERED

in presence of WITNESSES :

1) বিজয় কান্ত ২/১১/২২  
 উল্লাস ২/১১/২২  
 বিজয় ২/১১/২২  
 হিন্দু ২৪ অক্টোবর

2) Barun  
 Anurupa Das  
 17 Chittaranjan  
 Park  
 Cell-32

Drafted by 2 Readover  
 in Bengali by me

Ajoy Chatterjee


Advocate, WB/1826/1995  
 Alipore Judges' Court,  
 Kolkata - 700 027  
 Computer typed by :

Sudip Datta

Alipore Judges' Court,  
 Kolkata - 700 027.

1. ২১/১১/২২

2. প্রিন্স - রতন

3.  L.T.I of Robin Das  
 by the pen of Ajoy Das

4. Biswajit Halder

5. Surajit Halder

6. Swapna Das

7. বিজয় হালদার

8. অরুণা ২/১১/২২

9. Ramesh chandro Halder

10. puṣṇima Das

**SIGNATURE OF THE PRINCIPALS**

**Shine Enterprise**

Shankar Das  
 Proprietor

**SIGNATURE OF THE ATTORNEYS**

Shine Enterprise

Shankar Das  
 Proprietor

Thumb 1st finger Middle Finger Ring Finger Small Finger



left hand					
right hand					

Name..... JHARNA HALDER  
Signature..... Jharna Halder

Thumb 1st finger Middle Finger Ring Finger Small Finger



left hand					
right hand					

Name.....  
Signature..... [Signature]

Thumb 1st finger Middle Finger Ring Finger Small Finger



left hand					
right hand					

Name..... RABINDRA HALDER  
Signature..... [Signature]

L.T.I of Rabintra Halder  
by the pen of Anirjit Das



Thumb 1st finger Middle Finger Ring Finger Small Finger



left hand					
right hand					

Name.....  
Signature..... Anirjit Halder





	Thumb	1st finger	Middle Finger	Ring Finger	Small Finger
left hand					
right hand					

Name.....*SANJAY HOUDA*.....

Signature *Sanjay Hoda*



	Thumb	1st finger	Middle Finger	Ring Finger	Small Finger
left hand					
right hand					

Name.....*SWARNA DAS*.....

Signature *Swarna Das*



	Thumb	1st finger	Middle Finger	Ring Finger	Small Finger
left hand					
right hand					

Name.....*ଲୋକେଶ କୁମାର*.....

Signature *Lokeesh Kumar*



	Thumb	1st finger	Middle Finger	Ring Finger	Small Finger
left hand					
right hand					

Name.....*ଅନିଲ କୁମାର*.....

Signature *Anil Kumar*





	Thumb	1st finger	Middle Finger	Ring Finger	Small Finger
left hand					
right hand					

Name.. Ramesh Chandra Halder

Signature Ramesh Chandra Halder



	Thumb	1st finger	Middle Finger	Ring Finger	Small Finger
left hand					
right hand					

Name.. Purnima Das

Signature Purnima Das



	Thumb	1st finger	Middle Finger	Ring Finger	Small Finger
left hand					
right hand					

Name.. SHANKAR DAS

Signature Shankar Das

	Thumb	1st finger	Middle Finger	Ring Finger	Small Finger
PHOTO	left hand				
	right hand				

Name.....

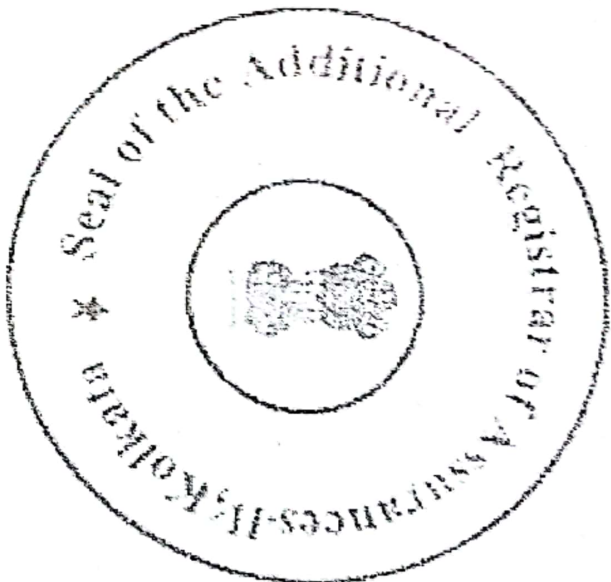
Signature .....

Certificate of Registration under section 60 and Rule 69.

Registered in Book - I

Volume number 1904-2022, Page from 6177104 to 6177149

being No 190408915 for the year 2022.



Digitally signed by SEMANTI SIKDAR  
Date: 2022.06.03 06:23:45 +05:30  
Reason: Digital Signing of Deed.

(Semanti Sikdar) 2022/06/03 06:23:45 AM  
ADDITIONAL REGISTRAR OF ASSURANCE  
OFFICE OF THE A.R.A. - IV KOLKATA  
West Bengal.

Shine Enterprise  
*Semanti Sikdar*  
Proprietor

(This document is digitally signed.)